

SECTION 00 02 00 - INVITATION TO BID

PROJECT: COMMONS SPORTING CENTER RETAINING WALL
11600 Poinciana Blvd.
Royal Palm Beach, Florida

Project NO: PR2004

Sealed bids will be received by the Village of Royal Palm Beach, Florida at the Office of the Village Clerk, located at 1050 Royal Palm Beach Boulevard, Royal Palm Beach, Florida 33411, for subject **project 3:00 p.m. local time on Wednesday, October 21, 2020**, then opened publicly at that time.

Project Description:

Construction of approximately 250 foot concrete retaining wall to replace the existing heavy timber walls at the Commons Park Sporting Center. The facility shall remain in full operation for staff and general public.
Budget: \$80,000.00

The Contract Documents will be open to inspection at the Clerk's office. Contract documents may be purchased after noon on **Monday, September 21, 2020** from the Village of Royal Palm Beach, ATTN: Village Clerk, 1050 Royal Palm Beach Boulevard, Royal Palm Beach, Florida, 33411 at the following prices, which are non-refundable:

Complete Set (Drawings & Project Manual): \$25.00
Packaging & Mailing Charges / Set: \$35.00

Project plans and documents may be requested free of charge at: **www.royalpalmbeach.com/rfps**

Bids must be accompanied by a Bid Security in the form of a certified bank check made payable to the Owner, or a Bid Bond. The amount of the security shall not be less than five (5) percent of the Bidder's total price indicated in Bid Form.

In accordance with F.S. 287.133 (2) (a), persons and affiliates who have been placed on the convicted vendor list may not submit bids, contract with, or perform work (as a contractor, supplier, subcontractor or consultant) with any public entity (i.e. Village of Royal Palm Beach) in excess of Ten Thousand Dollars (or such other amount as may be hereafter established by the Florida Division of Purchasing in accordance with F.S. 287.017) for a period of 36 months from the date of being placed on the convicted vendor list.

A virtual pre-bid conference (not mandatory) will be held on Wednesday, October 7, 2020 at 3:00 p.m. using GoTo Meeting.

Please join the meeting from your computer, tablet or smartphone.
<https://global.gotomeeting.com/join?901215437>

You can also dial in using your phone. (For supported devices, tap a one-touch number below to join instantly.)

United States: +1 (224) 501-3412
One-touch: +12245013412,,901215437#
Access Code: 901-215-437

New to GoToMeeting? Get the app now and be ready when your first meeting starts:
<https://global.gotomeeting.com/install/901215437>

The OWNER reserves the right to reject any or all Bids, to waive informalities, and to re-advertise.

Publish: Palm Beach Post: Monday, September 21, 2020
Monday, September 28, 2020

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	GL	GLASS, GLAZING	RAD	RADIUS
ACT	ACOUSTICAL CEILING TILE	GYP	GYPBUM	REC	RECESSED
AC	AIR CONDITIONING	GYP BD	GYPBUM BOARD	REIN	REINFORCE
L(S) APPROX	ANGLE APPROXIMATE	HDW	HARDWARE	REQ	REQUIRED
		HT or HGT	HEIGHT	RESIL	RESILIENT
		HC	HOLLOW CORE	REV	REVISION
				RIBER	RIBER
				ROOM	ROOM
				R	ROUGH OPENING
BM	BEAM	INSUL	INSULATION	SCHED	SCHEDULE
BRG	BEARING			SHEET	SHEET
BLKHD	BULKHEAD	LAM	LAMINATE(D)	SIMILAR	SIMILAR
		LKR	LOCKER	SOLID CORE	SOLID CORE
CPT	CARPET			SOUND PROOF	SOUND PROOF
CLG	CEILING			S	SOUTH
CEM	CEMENT			SPEC	SPECIFICATION
CP	CEMENT PLASTER	MAIN	MAINTENANCE	SQ FT	SQUARE FEET
CL	CENTER LINE	MGR	MANAGER	STD	STANDARD
CER	CERAMIC	MFR	MANUFACTURE(R)	STN	STAIN
CT	CERAMIC TILE	MRE	MARBLE	STD	STANDARD
CONC	CONCRETE	MAS	MASONRY	STL	STEEL
C.O.	CLEAN OUT	MO	MASONRY OPENING	STOR	STORAGE
CMU	CONCRETE MASONRY UNIT	MET	MATERIAL	SUSP	SUSPENDED
		MECH	MECHANICAL	SYN	SYNTHETIC
CONT	CONTINUOUS	MTL	METAL	SYST	SYSTEM
CJ	CONTROL JOINT	MIN	MINIMUM		
		MISC	MISCELLANEOUS	TKBD	TACKBOARD
		MUL	MULLION	TEX	TEXTURE(D)
DEM	DEMOLISH			THK	THICK, THICKNESS
DIM	DIMENSION	NRC	NOISE REDUCTION COEFFICIENT	THR	THRESHOLD
DWG	DRAWING			TCC	TOP OF CONCRETE
DF	DRINKING FOUNTAIN	NCM	NOMINAL	TOP	TOP OF PAVEMENT
		N	NORTH	TOW	TOP OF WALL
EA	EACH	NA	NOT APPLICABLE	TE	TOEL BEAR
EAST	EAST	NC	NOT IN CONTRACT	TYP	TYPICAL
EP	ELECTRIC PANEL	NTS	NOT TO SCALE	TP	TOILET PARTITION
EWC	ELECTRIC WATER COOLER	NO or *	NUMBER		
ELEV	ELEVATION			UL	UNDERWRITER'S LABORATORY
EQUIP	EQUIPMENT	OC	ON CENTER	UNO	UNLESS NOTED OTHERWISE
EF	EXHAUST FAN	OPNG	OPENING		
EXIST	EXISTING	OPP	OPPOSITE		
EXP	EXPANSION	OPH	OPPOSITE HAND		
EJ	EXPANSION JOINT	OD	OUTSIDE DIAMETER		
EXT	EXTERIOR	OH	OVERHEAD	VAR	VARIES
				VB	VINYL BASE
				VCT	VINYL COMPOSITION TILE
FOS	FACE OF STUDS	FNT	PAINT(ED)	WC	WATER CLOSET
FIN	FINISHED	FNR	FAIR	WR	WATER RESISTANT
FF	FINISH FLOOR	FLAS	PLASTER	WRP	WATERPROOF
FE	FIRE EXTINGUISHER	P LAM	PLASTIC LAMINATE	WT	WEIGHT
FEC	FIRE EXTING. CABINET	P LYUD	PLYWOOD	W	WEST
FD	FLOOR DRAIN	PREFAB	PREFABRICATED	W/	WITH
FLUOR	FLOURESCENT			W/O	WITHOUT
FTG	FOOTING	QUAN	QUANTITY	WED	WOOD
FDN	FOUNDATION	QT	QUARRY TILE	YD	YARD
FV	FIELD VERIFY				
GALV	GALVANIZED				
GA	GAUGE				
GC	GENERAL CONTRACTOR				

GENERAL NOTES

- SCOPE OF WORK
GENERAL CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY AS REQUIRED BY DRAWING AND SPECIFICATIONS TO PROVIDE A COMPLETE AS FINISHED SPACES, THIS INCLUDES ALL ARCHITECTURAL, ELECTRICAL, PLUMBING, HEATING AND VENTILATING, AND FIRE PROTECTION TRADES.
- APPLICABLE CODES
THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT ALL APPLICABLE STATE LAWS, MUNICIPAL ORDINANCES, AND THE RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER CONSTRUCTION OF THE PROJECT SHALL APPLY TO THE CONTRACT THROUGHOUT, AND THEY WILL BE DEEMED TO BE INCLUDED IN THE CONTRACT THE SAME AS THOUGH HEREIN WRITTEN OUT IN FULL.
- EXISTING CONDITIONS
THE PROJECT INVOLVES CONSTRUCTION INSIDE AN ALREADY EXISTING STRUCTURE. AS SUCH THE EXISTING BUILDING AND ITS PRESENT CONDITION STAND AS CONSTRUCTION DOCUMENTS OF EQUAL IMPORTANCE TO THE PLANS AND SPECIFICATIONS. CONTRACTORS, BY SUBMITTING A BID, ARE ASSUMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED IN THE OTHER CONSTRUCTION DOCUMENTS. ABSOLUTELY NO CLAIMS FOR EXTRA COST WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR INFERABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BUILDING.
- UNKNOWN CONDITIONS
MODIFICATIONS TO THE NEW WORK THAT IS REQUIRED DUE TO "UNKNOWN CONDITIONS", BEHIND WALLS, ABOVE CEILING, ETC., THAT WERE NOT ABLE TO BE OBSERVED, ARE TO BE IDENTIFIED TO THE CM/ARCHITECT, IMMEDIATELY.
- COORDINATING AND EXPEDITING
IT SHALL BE THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE AND EXPEDITE ALL PHASES OF ARCHITECTURAL, STRUCTURAL AND PLUMBING WORK, REGARDLESS OF WHETHER OWNER AWARDS SEPARATE CONTRACTS FOR ANY TRADES, BRANCHES, OR ITEMS OF WORK AND EQUIPMENT. ALL OVER TRADES, SUBCONTRACTORS AND/OR SEPARATE CONTRACTORS SHALL COOPERATE FULLY WITH THE GENERAL CONTRACTOR.
- VOLUNTARY ALTERNATES
ALL SUBSTITUTIONS TO BE ON AN "OR EQUAL" BASIS MAY BE USED ONLY WITH THE WRITTEN APPROVAL FROM ARCHITECT. UNLESS OTHERWISE THEREIN SPECIFIED, THE QUALITY OF ALL MATERIALS AND WORKMANSHIP SPECIFIED FOR ALTERNATES SHALL BE THE SAME AS THAT SPECIFIED FOR WORK OF SIMILAR TYPE, CHARACTER AND MATERIALS THROUGH THE BUILDING. QUALITIES SPECIFIED ARE MINIMUM REQUIREMENTS. SUBSTITUTIONS MADE WITHOUT ARCHITECT APPROVAL ARE AT THE CONTRACTOR'S RISK.
- PATCH EXISTING CONSTRUCTION
GENERAL CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR EXISTING WALLS, CEILING & ROOF AS REQUIRED TO PROVIDE A SMOOTH SURFACE, FREE FROM DEFECTS, READY FOR FINISHING. THIS INCLUDES ALL DAMAGE CAUSED BY EXISTING FINISH REMOVAL, PREVIOUS DAMAGE, EQUIPMENT REMOVAL AND DAMAGE BY OTHER TRADES.
- WORK IN PLACE
WORK IN PLACE THAT IS SUBJECT TO INJURY BECAUSE OF OPERATIONS BEING CARRIED ON THERE SHALL BE COVERED, BOARDED UP, OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION. ALL FORMS OF PROTECTION SHALL BE CONSTRUCTED IN A MANNER, SUCH THAT, UPON COMPLETION, THE ENTIRE WORK WILL BE DELIVERED WHOLE, AND UNBLEMISHED CONDITION. WORK DAMAGE BY FAILURE TO PROVIDE PROTECTION SHALL BE REPLACE WITH NEW WORK, AT THE EXPENSE OF THE CONTRACTOR.
- TEMPORARY UTILITIES & SERVICES
THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR THE COLLECTION OF DEBRIS, AS REQUIRED FOR IN CONNECTION WITH THE WORK OF CONSTRUCTION AND INSTALLATION. CONTRACTORS CONSTRUCTION MATERIALS, TOOLS, EQUIPMENT AND DEBRIS SHALL BE STORED ONLY WITHIN THE DESIGNATED PREMISES OR IN AREAS TEMPORARILY DESIGNATED FOR THAT PURPOSE BY OWNER. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE A TEMPORARY LIGHTING AND POWER SYSTEM FOR THE WORK OF ALL TRADES DURING CONSTRUCTION, AND SHALL REMOVE SAME PRIOR TO THE COMPLETION OF THE PROJECT.
- GUARANTY-WARRANTY
THE GENERAL CONTRACTOR SHALL AND HEREBY DOES GUARANTEE AND EACH SUBCONTRACTOR SHALL AND HEREBY DOES WARRANT THAT ALL WORK FOR THIS BUILDING, UNDER THIS CONTRACT, SHALL BE FREE FROM DEFECTS OF FAULTY LABOR AND/OR MATERIALS PER THE SPECIFICATIONS.
- PERMITS
THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED. GC SHALL BE FULLY RESPONSIBLE TO EXPEDITE, OBTAIN, AND PAY FOR THE GENERAL BUILDING PERMIT.
- CERTIFICATE OF OCCUPANCY
THE CONTRACTOR MUST SECURE A CERTIFICATE OF OCCUPANCY FROM THE JURISDICTIONAL AUTHORITIES BY THE DATE OF COMPLETION AS SPECIFIED IN THE CONTRACT AND WILL DELIVER A COPY OF THE CERTIFICATE TO OWNER.
- EQUIPMENT LOCATION
ALL EXPOSED EQUIPMENT MOUNTED ON OR AROUND THE BUILDING SHALL BE REVIEWED AND COORDINATED WITH THE ARCHITECT FOR FINAL LOCATION.



SPORTING CENTER RETAINING WALLS

VILLAGE OF ROYAL PALM BEACH COMMONS PARK

11600 POINCIANA BOULEVARD
ROYAL PALM BEACH, FLORIDA 33411

RPB PROJECT NUMBER: PR2004

VILLAGE OF ROYAL PALM BEACH

- | | |
|--------------------------|-------------------------------|
| FRED PINTO | - MAYOR |
| JEFF HMARA | - VICE MAYOR |
| SELENA SAMIOS | - COUNCIL PERSON |
| JAN RODUSKY | - COUNCIL PERSON |
| RICHARD VALUNTAS | - COUNCIL PERSON |
| RAYMOND C. LIGGINS, PE | - VILLAGE MANAGER |
| CHRISTOPHER A. MARSH, PE | - VILLAGE ENGINEER |
| LOU RECCIO, APRP | - PARKS & RECREATION DIRECTOR |

PROPERTY OWNER

VILLAGE OF ROYAL PALM BEACH
1050 ROYAL PALM BEACH BLVD.
ROYAL PALM BEACH, FL. 33411
561-790-9124
LOU RECCIO, APRP

DRAWING INDEX

- | | |
|-----|--|
| CS | COVER SHEET, LOCATION MAP |
| A10 | FLOOR PLANS, EXTERIOR ELEVATIONS AND WALL SECTIONS |

ARCHITECTURAL

DHGA DESIGN - FL
225 SOUTHERN BLVD, STE 202
WEST PALM BEACH, FL 33409
561-290-5843 (PH)

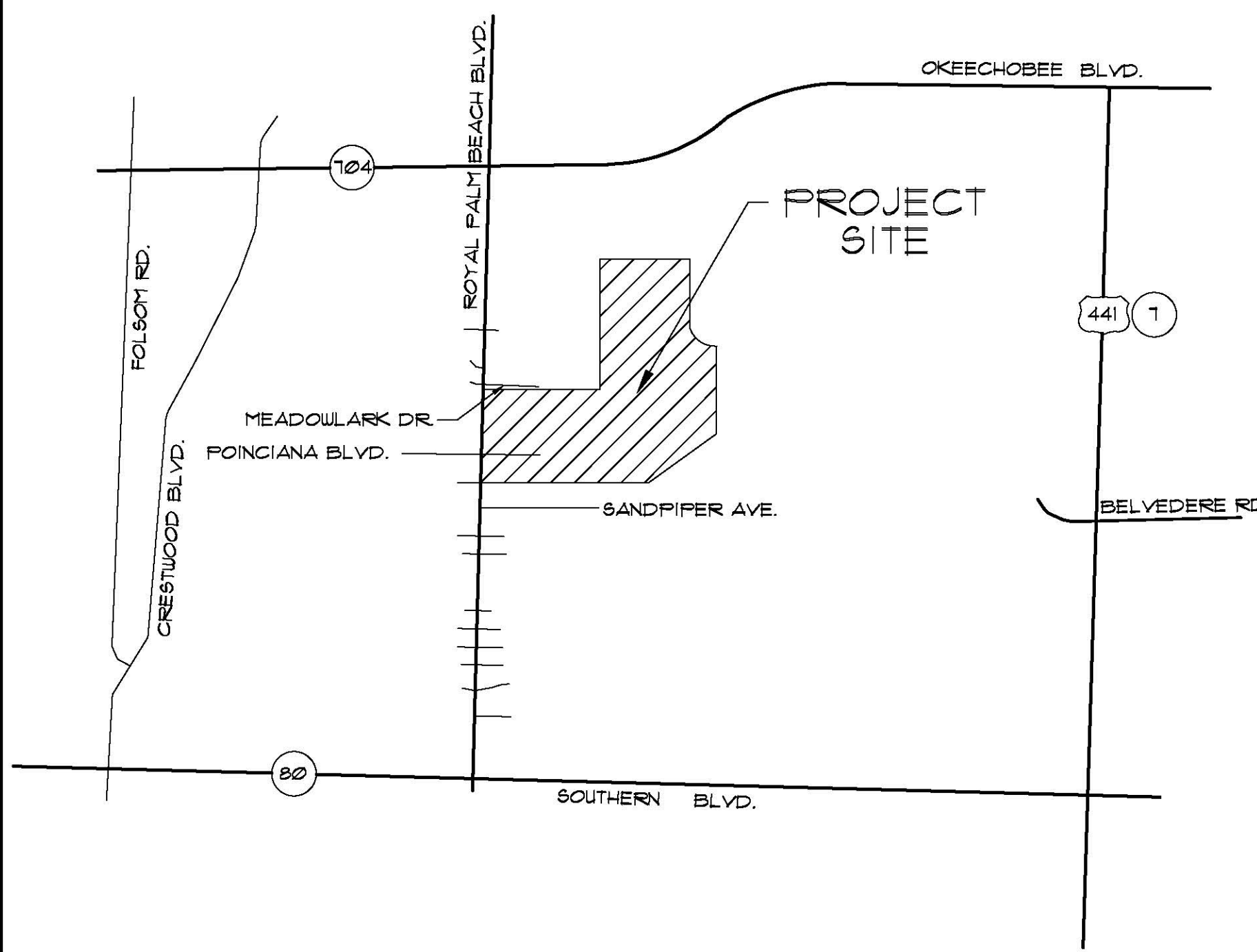
PROJECT DATA

PROJECT DESCRIPTION : REPLACE EXISTING TIMBER RETAINING WALL WITH CONCRETE RETAINING WALLS
HEIGHT: N/A
BUILDING CODE : FLORIDA BUILDING CODE, (FBC) 2011
BUILDING CLASSIFICATION : N/A
CONSTRUCTION TYPE : N/A

LEGEND

- | | | |
|---------------------------|-------|----------------------------|
| ROOM NAME AND ROOM NUMBER | (XXX) | INTERIOR ELEVATION |
| DOOR ELEVATION | (A) | ELEVATION AND SHEET NUMBER |
| WALL TYPE | (1) | SECTION AND SHEET NUMBER |
| KEY NOTES | (2) | ELEVATION HEIGHT AND NOTE |
| TOILET ROOM ACCESSORY | (3) | |
| FINISH NUMBER | (4) | |
| DR* DOOR NUMBER | | |

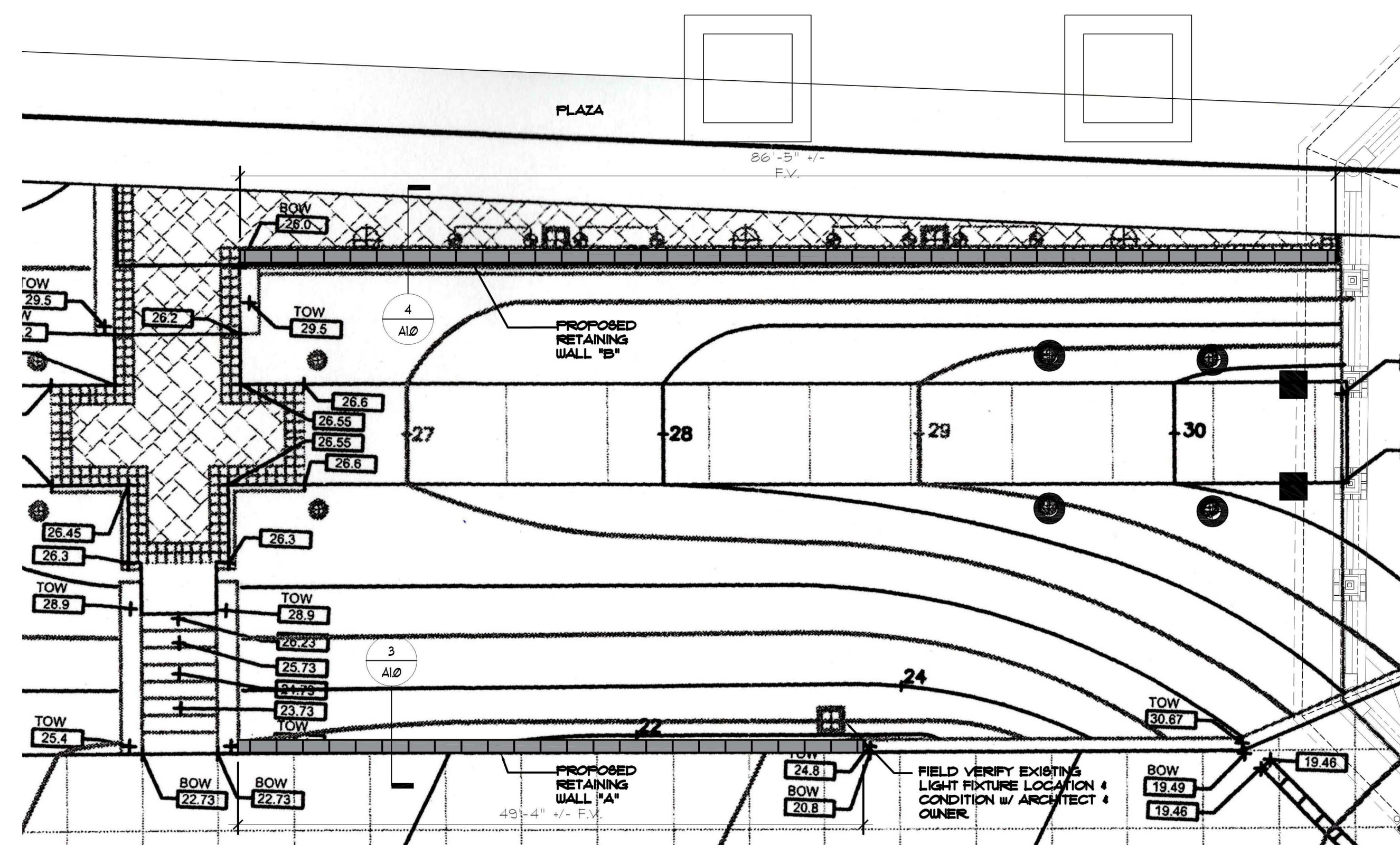
LOCATION MAP



DHGA DESIGN - FL
ARCHITECTURE INTERIORS
225 SOUTHERN BLVD, SUITE 202
WEST PALM BEACH, FLORIDA 33409
PH: 561-290-5843
FAX: 561-290-4147
ROBERT E. HILL - A831356 A436002079

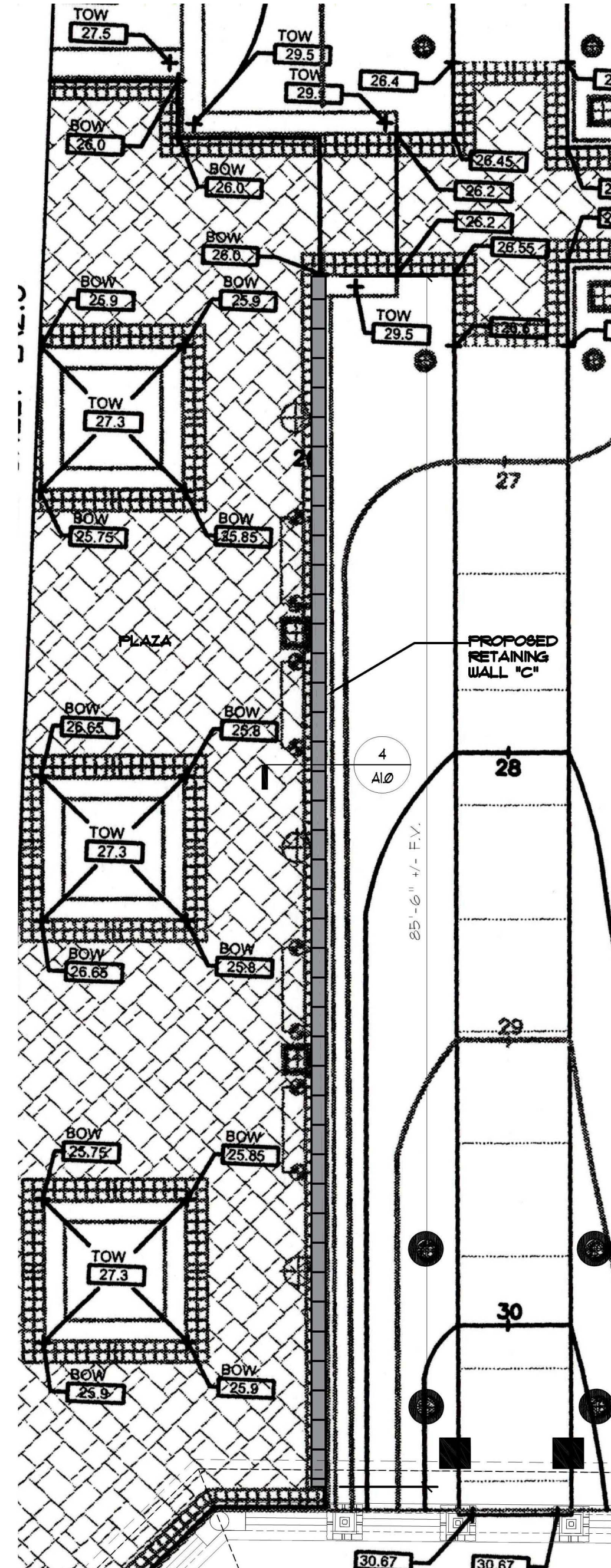
VILLAGE OF ROYAL PALM BEACH COMMONS PARK
SPORTING CENTER RETAINING WALLS
PR2004
11600 POINCIANA BLVD.
ROYAL PALM BEACH
FLORIDA 33411

DRAWING TITLE
SEAL
REVISED
ISSUE DATE SEPTEMBER 21, 2020
PROJECT NO. 2020-0109
SHEET NO. CS



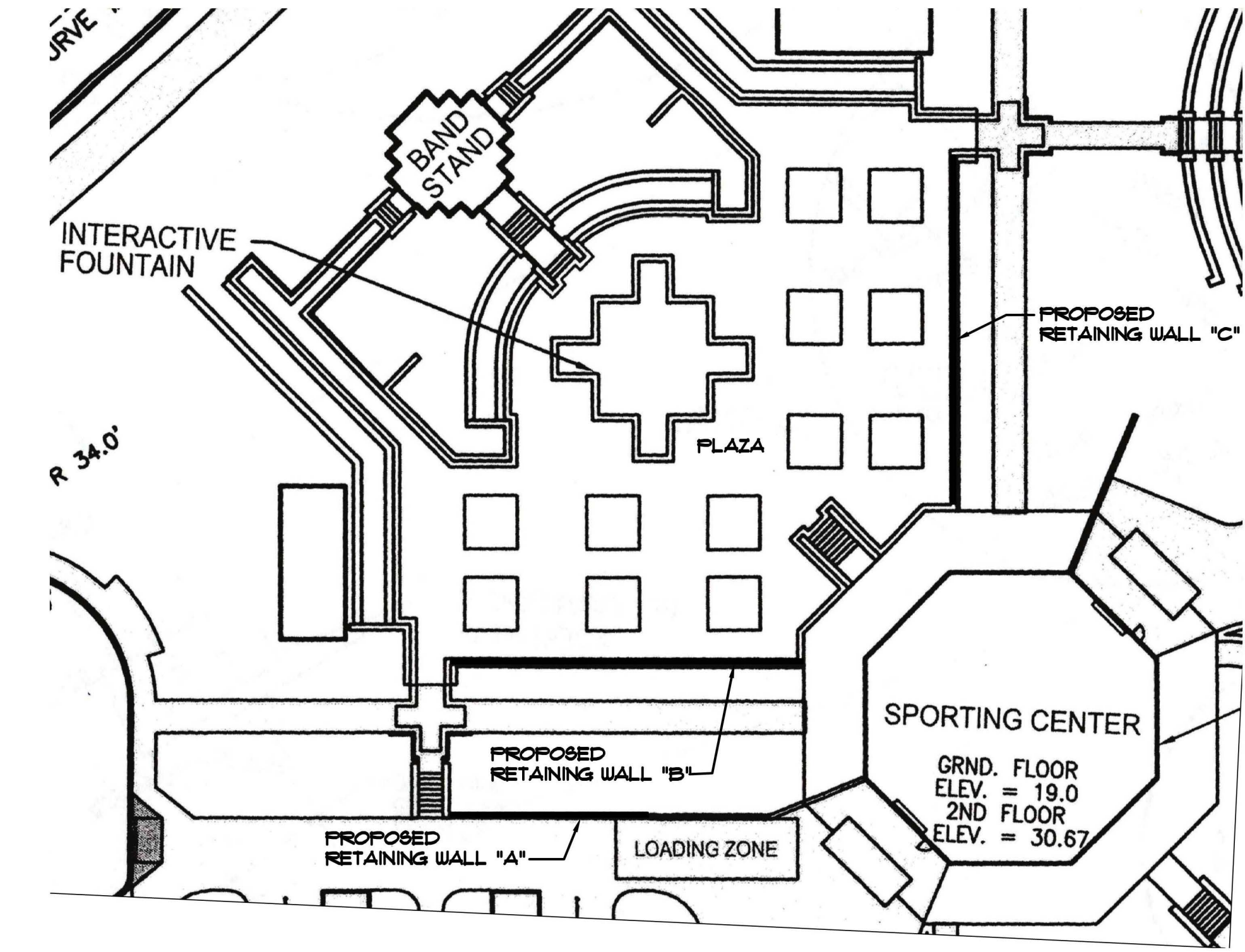
1 RETAINING WALL PLANS "A" & "B"

SCALE: N.T.S. $\frac{1}{4}'' = 1' - 0''$



2 RETAINING WALL PLAN "C"

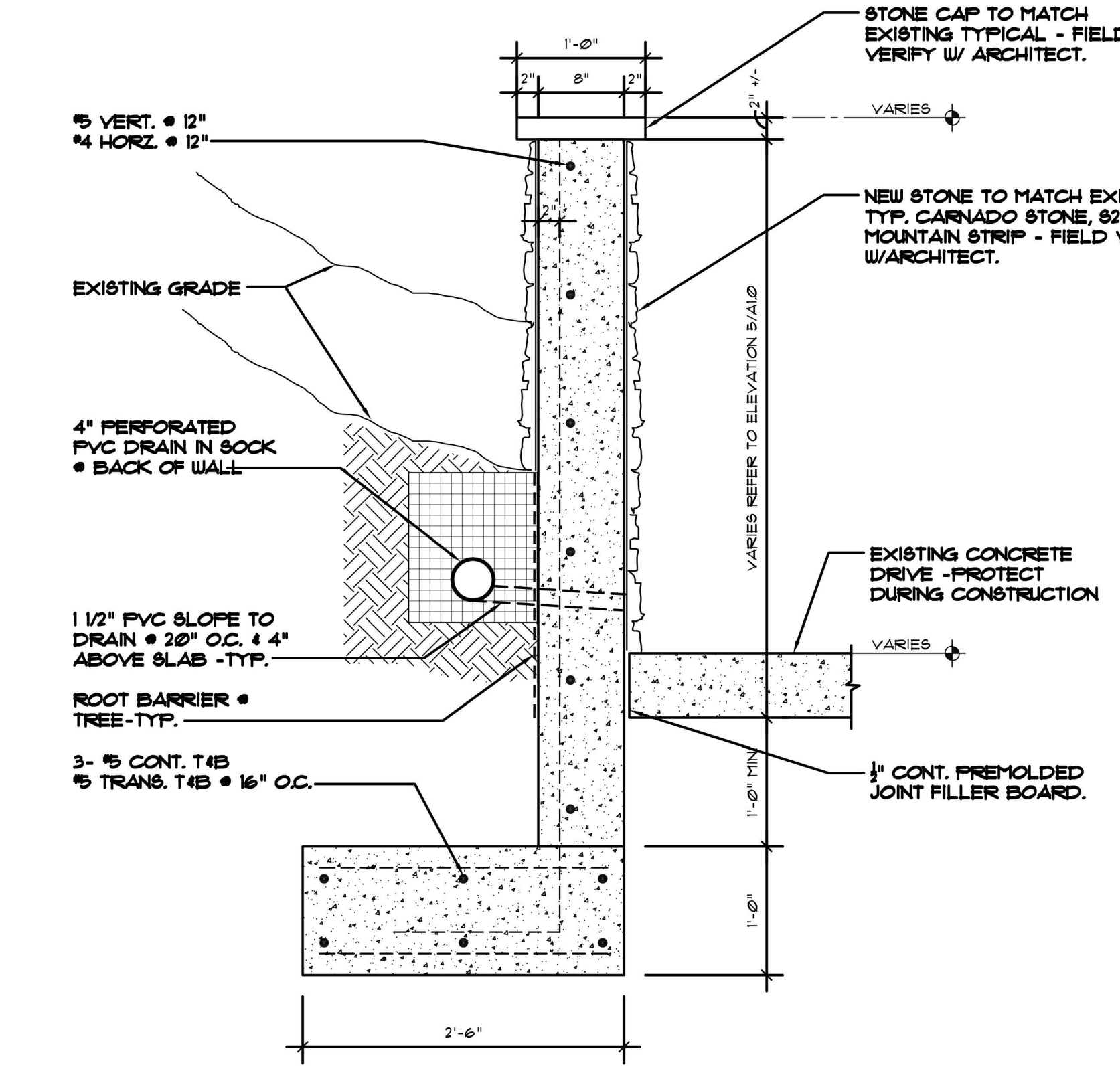
SCALE: N.T.S. $\frac{1}{4}'' = 1' - 0''$



KEY PLAN

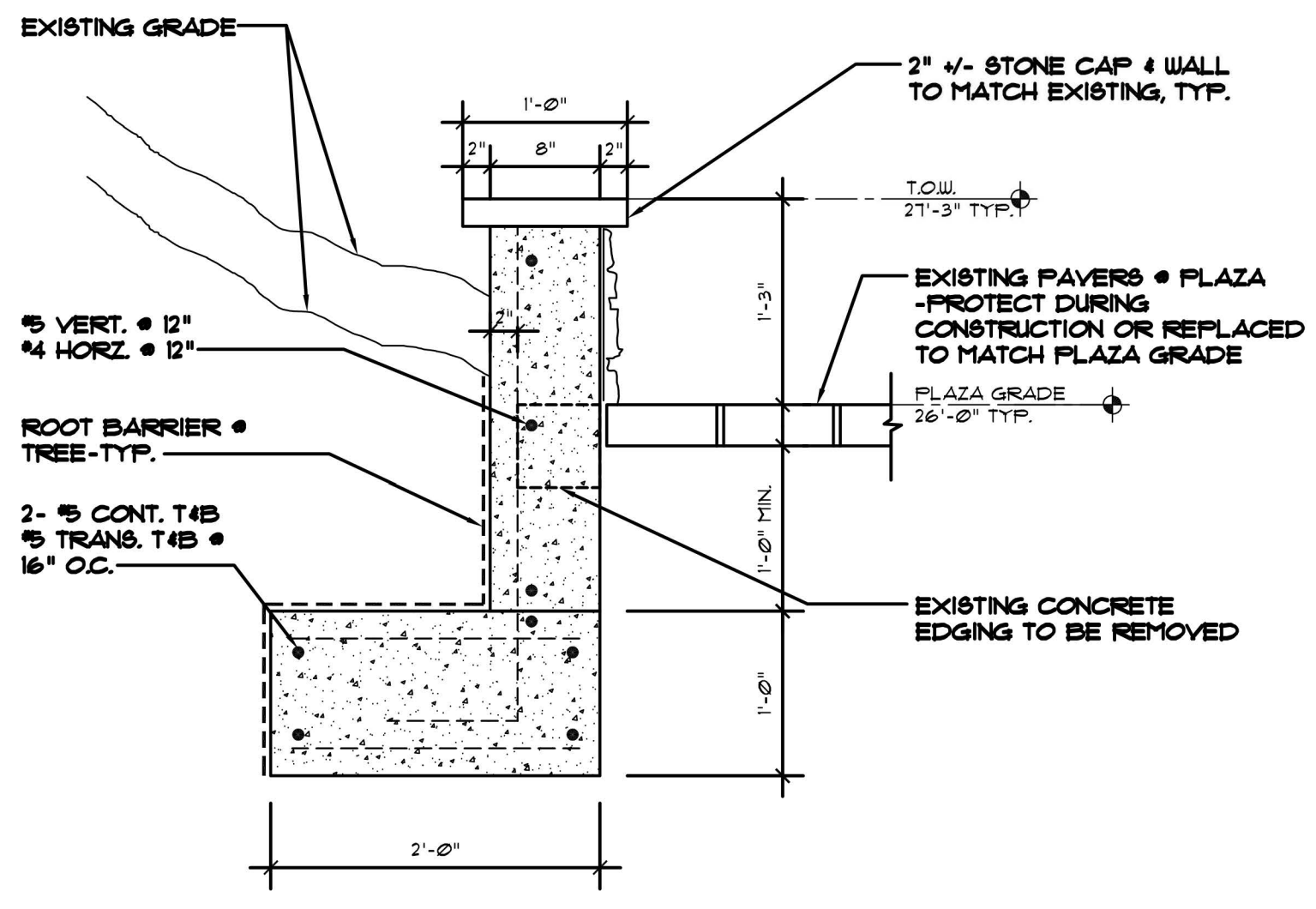
SCALE: N.T.S. $\frac{1}{4}'' = 1' - 0''$

- GENERAL NOTES:
1. PROVIDE 30 LF OF 185 INCH DEEP "BIO BARRIER" ROOT BARRIER INSTALLED PER MANUFACTURERS REQUIREMENTS AT EACH TREE. ROOT BARRIER TO BE INSTALLED FLUSH WITH GRADE TO EXTEND 10 FEET EACH SIDE OF TREE.
 2. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE CONDITIONS TO REMAIN. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGE TO THE ORIGINAL CONDITION AT HIS OWN EXPENSE.
 3. CONTRACTOR TO COORDINATE WITH OWNER FOR WORK TO BE DONE BY OWNER IF AND WHERE APPLICABLE.



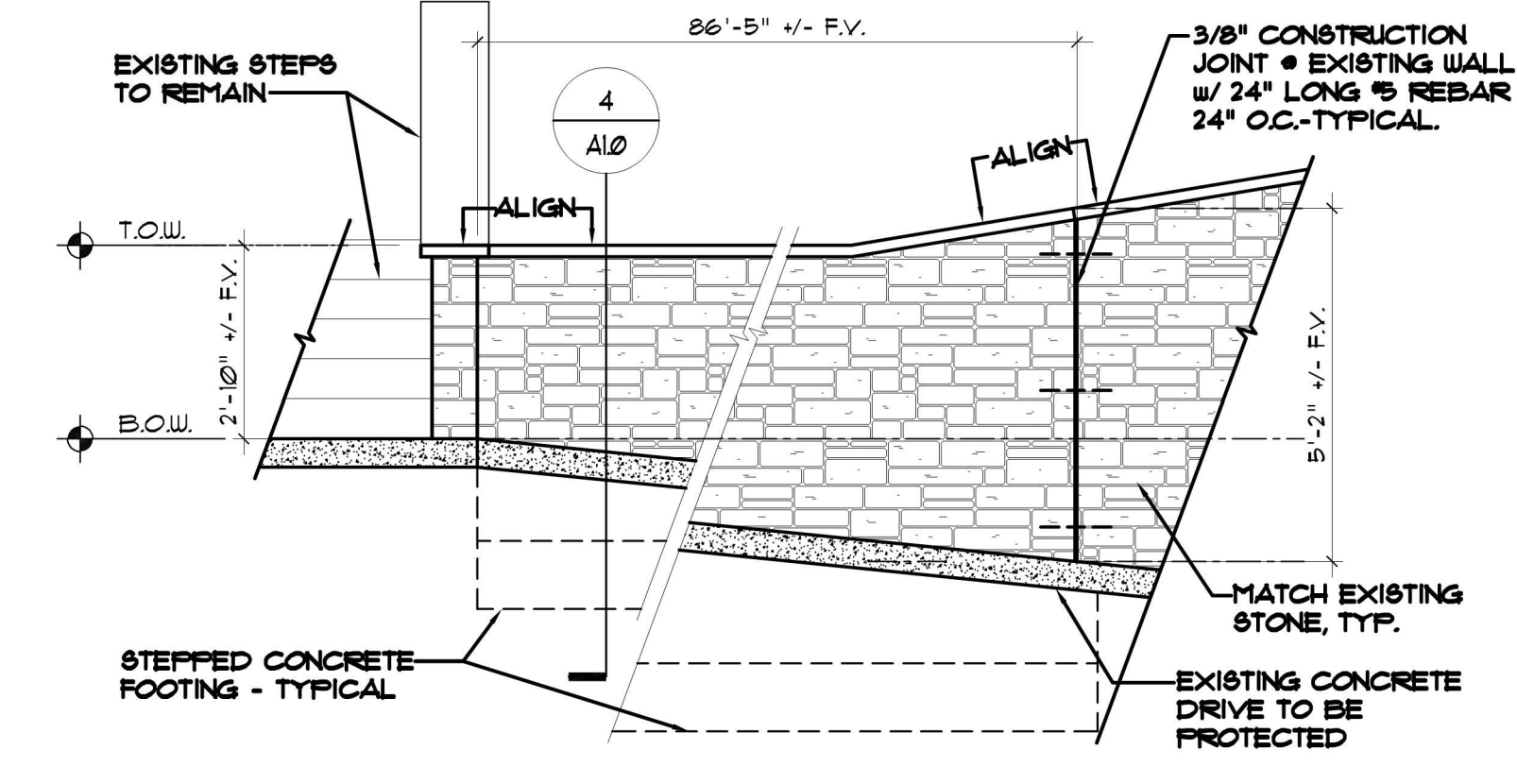
3 "A" RETAINING WALL SECTION

SCALE: $1'' = 1' - 0''$



4 "B" & "C" RETAINING WALL SECTION

SCALE: $1'' = 1' - 0''$



5 RETAINING WALL ELEVATION "A"

SCALE: $3/8'' = 1' - 0''$

DHGA DESIGN - FL
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VILLAGE OF ROYAL PALM BEACH
COMMONS PARK
SPORTING CENTER RETAINING WALLS

11600 POINCIANA BLVD.
ROYAL PALM BEACH
FLORIDA 33411

DRAWING TITLE
SITE PLAN
SECTIONS
& ELEVATIONS

SEAL

REVISED

ISSUE DATE
SEPTEMBER 21, 2020

PROJECT NO.
2020-0109

SHEET NO.
A1.0