OWNER

VILLAGE OF ROYAL PALM BEACH

1050 ROYAL PALM BEACH BLVD.

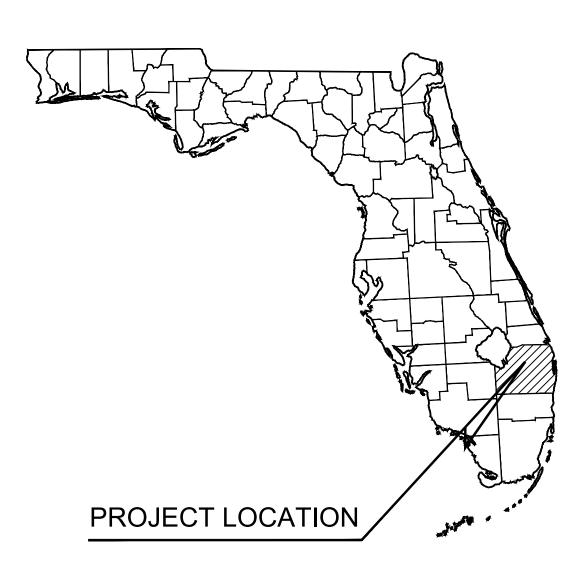
ROYAL PALM BEACH, FL 33411

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.

PHONE: (561) 791-7092

CONTACT: VICKIE DAY



# CONSTRUCTION DOCUMENTS VILLAGE HALL OF ROYAL PALM BEACH PREPARED FOR

VILLAGE OF ROYAL PALM BEACH, FL

JUN. 28 2021



**VICINITY MAP** NOT TO SCALE SECTION: 26 TOWNSHIP: 43S RANGE: 41E

### 1615 SOUTH CONGRESS AVENUE, SUITE 201 300 CLEMATIS STREET, 3RD FLOOR DELRAY BEACH, FL 33445 WEST PALM BEACH, FL 33401 PHONE: (561) 659-2383

PROJECT TEAM

PHONE: (561) 404-7237 CONTACT: ERIC S. GREENE, P.E. LANDSCAPE ARCHITECT

COTLEUR & HEARING 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 PHONE: (561) 747-6336 CONTACT: ERIN BOLIN

## UTILITY CONTACTS

10435 IRONWOOD ROAD PALM BEACH GARDENS, FL 33410 PHONE: (561) 227-3417

4598 DONALD ROSS ROAD PALM BEACH GARDENS, FL 33418 PHONE: (386) 586-6403 CONTACT: JOEL BRAY

CONTACT: PETER PIZZA

FLORIDA PUBLIC UTILITIES CO

PO BOX 3396 WEST PALM BEACH, FL 33402 PHONE: (561) 252-3308 CONTACT: BRAD COLLINS

MASTEC INC 18455 NE 2ND AVE MIAMI, FL 33179 CONTACT: RICKIE QUINN PALM BEACH COUNTY WATER UTILITIES

PROJECT LOCATION

1050 ROYAL PALM BEACH BLVD.,

**ROYAL PALM BEACH, FL 33411** 

8100 FOREST HILL BLVD WEST PALM BEACH, FL 33413 PHONE: (561) 493-6116 CONTACT: JACKIE MICHELS

SITE PLANNER

1934 COMMERCE LANE, SUITE 1

REG ARCHITECTS INTERIORS PLANNERS

CONTACT: MANUEL AYALA, AIA, LEED AP

711 NORTH DIXIE HIGHWAY, SUITE 201

COTLEUR & HEARING

JUPITER, FL 33458

PHONE: (561) 747-6336

CONTACT: ERIN BOLIN

ARCHITECT

**SURVEYOR** 

KESHAVARZ & ASSOCIATES

PHONE: (561) 689-8600

WEST PALM BEACH, FL 33401

CONTACT: SCOTT F. BRYSON

PALM BEACH COUNTY TRAFFIC OPERATIONS

2300 NORTH JOG ROAD WEST PALM BEACH, FL 33411 PHONE: (561) 681-4371 CONTACT: ROD FRIEDEL

<u> AT&T</u> 1120 SOUTH ROGERS CIRCLE BOCA RATON, FL 33487 CONTACT: DINO FARRUGGIO

VILLAGE OF ROYAL PALM BEACH PUBLIC WORKS

1050 ROYAL PALM BEACH BLVD ROYAL PALM BEACH, FL 33487 PHONE: (561) 790-5121 CONTACT: WINSTON BLAKE

## LEGAL DESCRIPTION

LOT 1, VILLAGE HALL, RECORDED IN PLAT BOOK 123, PAGE 170, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

> WUD #21-501 Always call 811 two full business days before you dig to have underground utilities located and marked. Sunshine 811.com

Sheet List Table

Sheet Number

C0.00

C0.01

C1.00

C2.00

C2.01

C2.02

C3.00 C3.01

C3.02

C4.00

C4.01

C4.02

C4.03

C4.04

C4.05

C5.00

C5.01

C7.00

C8.00

C8.01

10

Sheet Title

COVER SHEET

GENERAL NOTES

DEMOLITION PLAN

EROSION AND SEDIMENT CONTROL PLAN — PHASE 1

EROSION AND SEDIMENT CONTROL PLAN — PHASE 2

EROSION AND SEDIMENT CONTROL DETAILS HORIZONTAL CONTROL OVERVIEW

HORIZONTAL CONTROL PLAN - PHASE 1

HORIZONTAL CONTROL PLAN - PHASE 2

PAVING GRADING AND DRAINAGE OVERVIEW

PAVING GRADING AND DRAINAGE PLAN — PHASE 1

PAVING GRADING AND DRAINAGE PLAN — PHASE 2

ANCILLARY IMPROVEMENT DETAILS

PAVING GRADING AND DRAINAGE DETAILS

PAVING GRADING AND DRAINAGE DETAILS

UTILITY PLAN - PHASE

UTILITY PLAN - PHASE 2

TRAFFIC CONTROL PLANS - PHASE 1

TRAFFIC CONTROL PLANS - PHASE 2

PBCWUD WATER DETAILS

PBCWUD WATER DETAILS

PBCWUD WATER DETAILS

PBCWUD WATER DETAILS

PBCWUD WASTEWATER DETAILS

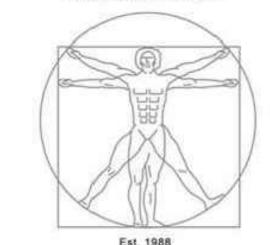
PBCWUD WATER DETAILS

FIRE TRUCK ACCESS PLAN

LICENSED PROFESSIONAL JASON A. WEBBER, P.E FLORIDA LICENSE NUMBER 73962

DATE:

REG **Architects** Interiors **Planners** CORP# AA0002447



### Rick Gonzalez, AIA President

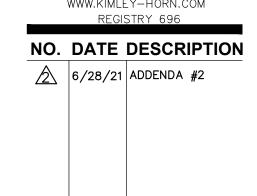
FL License AR0014172 West Palm Beach, FL 33401 P (561) 659-2383 www.regarchitects.com



## Village Hall of Royal Palm Beach

1050 Royal Palm Beach Blvd. Royal Palm Beach, FL 33411

PHONE: 561-330-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM



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DESIGNER	ESG
DRAWN	LM
CHECKED	ESG
REG#	19024

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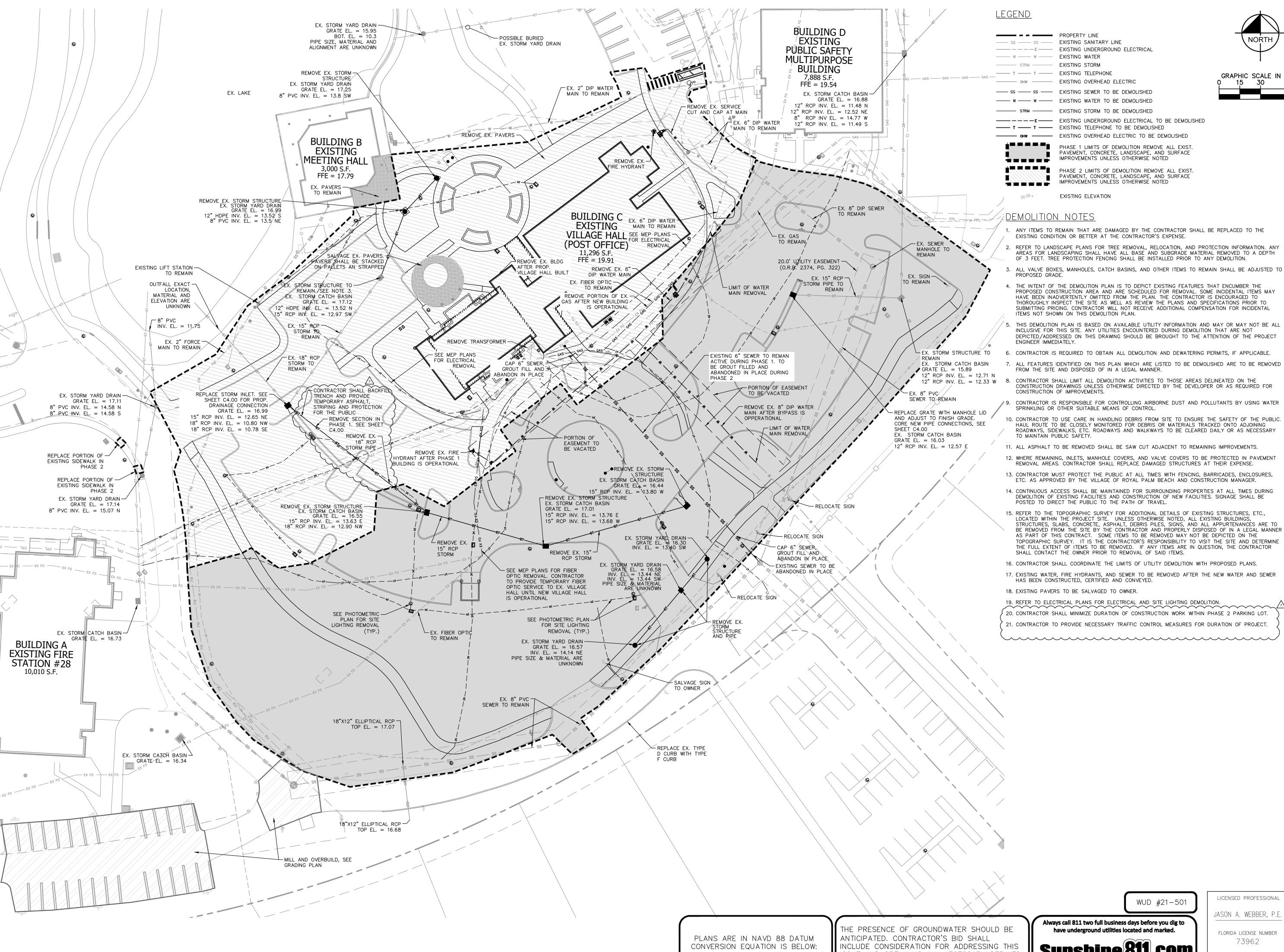
**COVER SHEET** 

C0.00

ADD-8

PLANS ARE IN NAVD 88 DATUM CONVERSION EQUATION IS BELOW: (NAVD 1988) + 1.46' = (NGVD 1929)

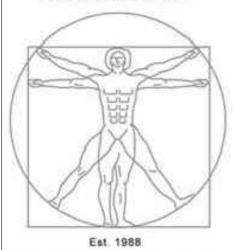
THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS



(NAVD 1988) + 1.46' = (NGVD 1929)

Addendum 8 6/29/2021

Interiors **Planners** CORP# AA0002447



## Rick Gonzalez, AIA President

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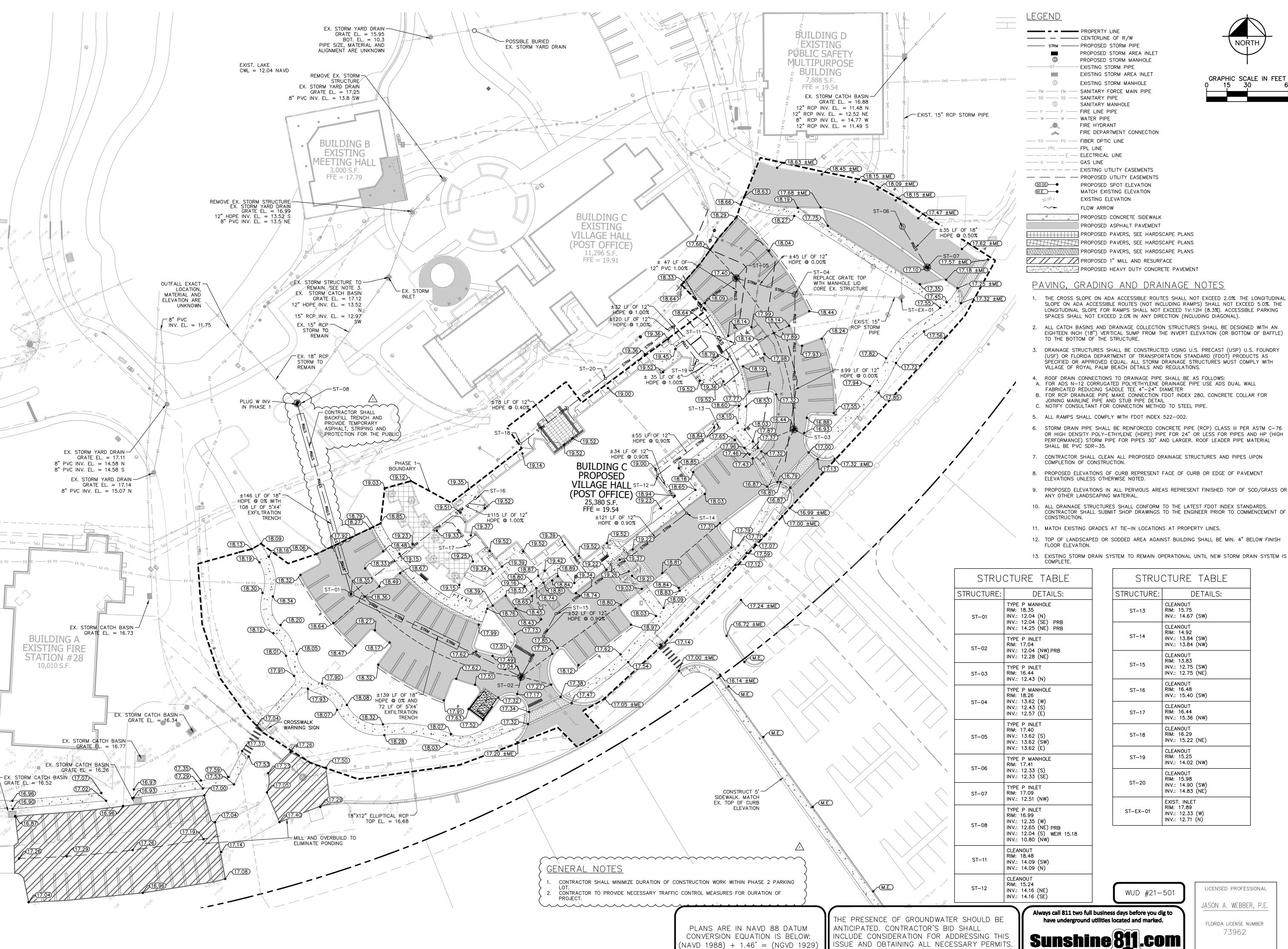
**DEMOLITION PLAN** 

C1.00

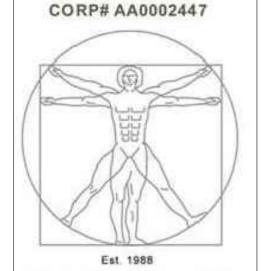
ISSUE AND OBTAINING ALL NECESSARY PERMITS

Sunshine 811.com

FLORIDA LICENSE NUMBER



Interiors **Planners** 



Addendum 8 6/29/2021

### Rick Gonzalez, AIA President

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# Village Hall of Royal Palm Beach

1050 Royal Palm Beach Blvd. Royal Palm Beach, FL 3341

ASSOCIATES, INC. 1615 S CONGRESS AVE, SUITE 201, DELRAY BEACH, FL 33445

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COMPENSATION TO THE ARCHITECT PAVING **GRADING AND** DRAINAGE PLAN - PHASE 1

C4.01

have underground utilities located and marked.

STRUCTURE TABLE

RIM: 15.75

CLEANOUT

RIM: 14.92 INV.: 13.84 (SW)

**CLEANOUT** RIM: 13.83

CLEANOUT RIM: 16.48

CLEANOUT

RIM: 16.44

CLEANOUT

RIM: 16.29

**CLEANOUT** 

RIM: 15.25

**CLEANOUT** 

RIM: 15.98

INV.: 14.67 (SW)

| INV.: 13.84 (NW)

INV.: 12.75 (SW)

INV.: 12.75 (NE)

INV.: 15.40 (SW)

INV.: 15.36 (NW)

INV.: 15.22 (NE)

INV.: 14.02 (NW)

INV.: 14.90 (SW)

| INV.: 14.83 (NE)

EXIST. INLET

INV.: 12.33 (W)

INV.: 12.71 (N)

LICENSED PROFESSIONAL

JASON A. WEBBER, P.E

FLORIDA LICENSE NUMBER

73962

RIM: 17.89

DETAILS:

STRUCTURE:

ST-13

ST-17

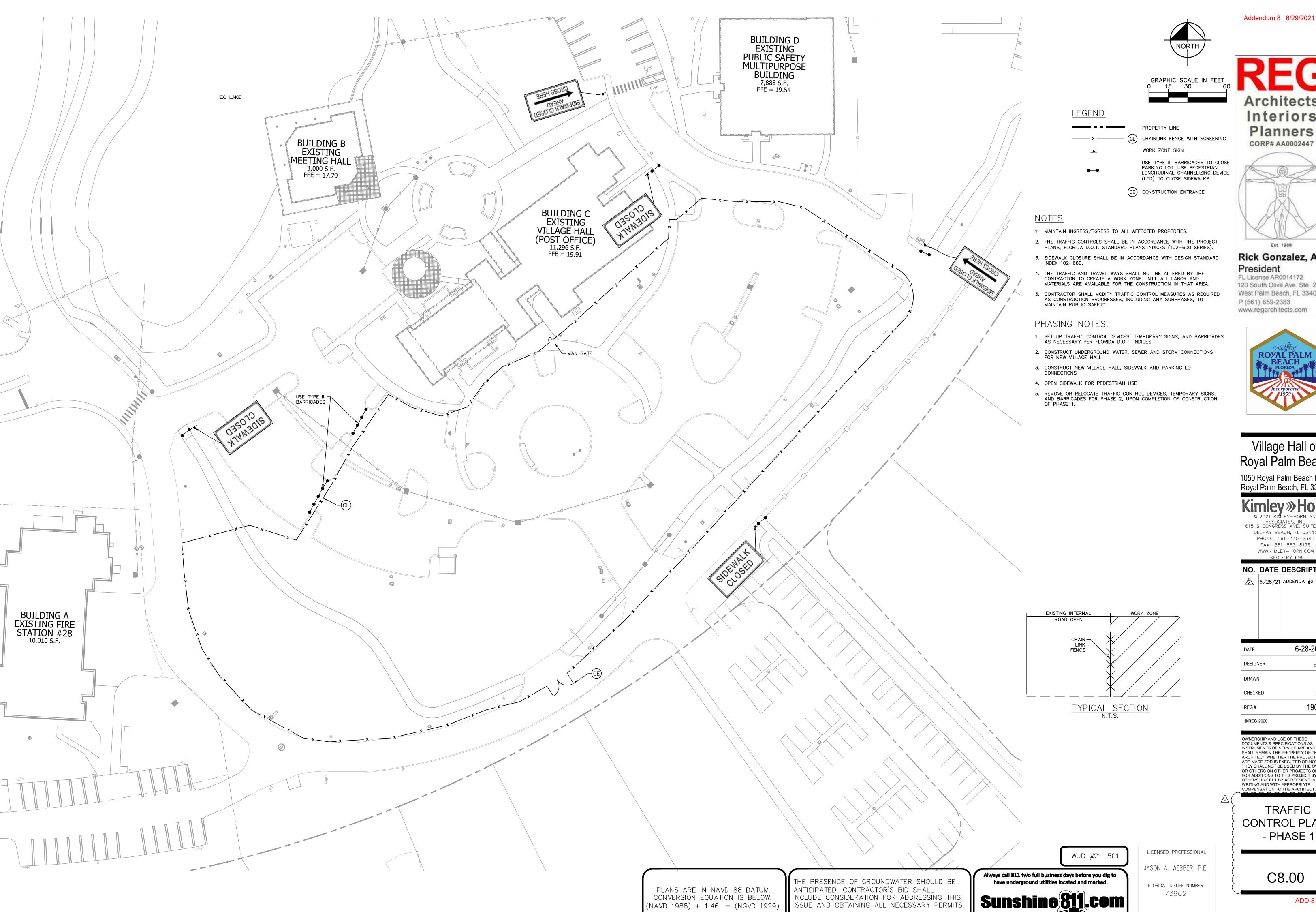
ST-18

ST-19

ST-20

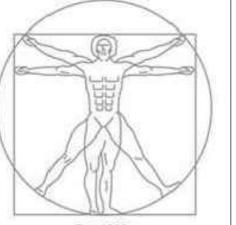
ST-EX-01

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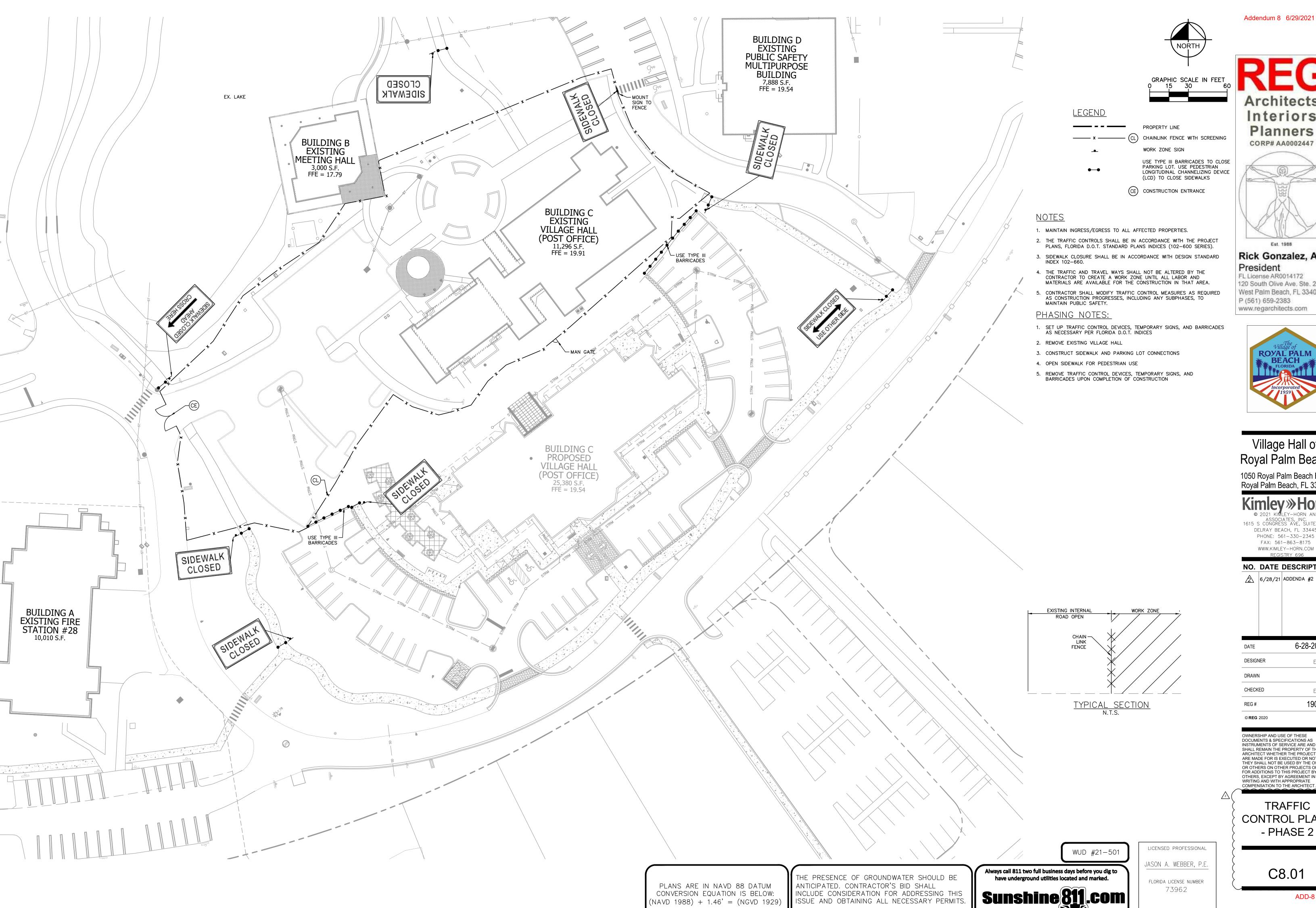
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TRAFFIC CONTROL PLANS - PHASE 1

C8.00

ADD-8



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TRAFFIC CONTROL PLANS

- PHASE 2

C8.01

ADD-8